



**DEVELOPMENT PERMIT NO. DP001032**

**ALTERRA PROPERTY GROUP LTD**  
Name of Owner(s) of Land (Permittee)

**119 HALIBURTON STREET**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT A, SECTION 1, NANAIMO DISTRICT, PLAN VIP79946**  
**PID No. 026-499-819**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A    Location Plan**  
**Schedule B    Site Plan**  
**Schedule C    Parking Plan**  
**Schedule D    Building Elevations**  
**Schedule E    Landscape Plan and Details**  
**Schedule F    Schedule D – Amenity Requirements for Additional Density**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### PERMIT TERMS

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum building height from 14m to 16.1m.
2. *Section 6.5.1 Projections into Yards* – to reduce the minimum required front yard setback for an underground parking structure from 1.8m to 0.97m.
3. *Section 17.2.1* – to reduce the minimum landscape buffer width from 1.8m to 0m (north side yard) and from 1.8m to 1.2m (rear yard).

### CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site Plan prepared by KC Mooney Architect, dated 2018-JUL-17 as shown on Schedule B.
2. The subject property shall be developed in accordance with the Parking Plan prepared by KC Mooney Architect, dated 2018-JUL-17 as shown on Schedule C.
3. The development is developed in substantial compliance with the Building Elevations prepared by KC Mooney Architect, dated 2018-JUL-16 as shown on Schedule D.
4. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Topographics Landscape Architecture, dated 2018-APR-14 and 2018-JUN-12 as shown on Schedule E.
5. The subject property is to be developed in accordance with Schedule D – Amenity Requirements for Additional Density prepared by the applicant and dated 2018-JUL-19. A letter from the coordinating professional architect is required prior to the issuance of the building permit, confirming how the required points will be obtained. A letter and accompanying evidence must also be received from the coordinating professional prior to the issuance of building occupancy proving that all required points have been achieved.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 13TH DAY OF AUGUST, 2018.

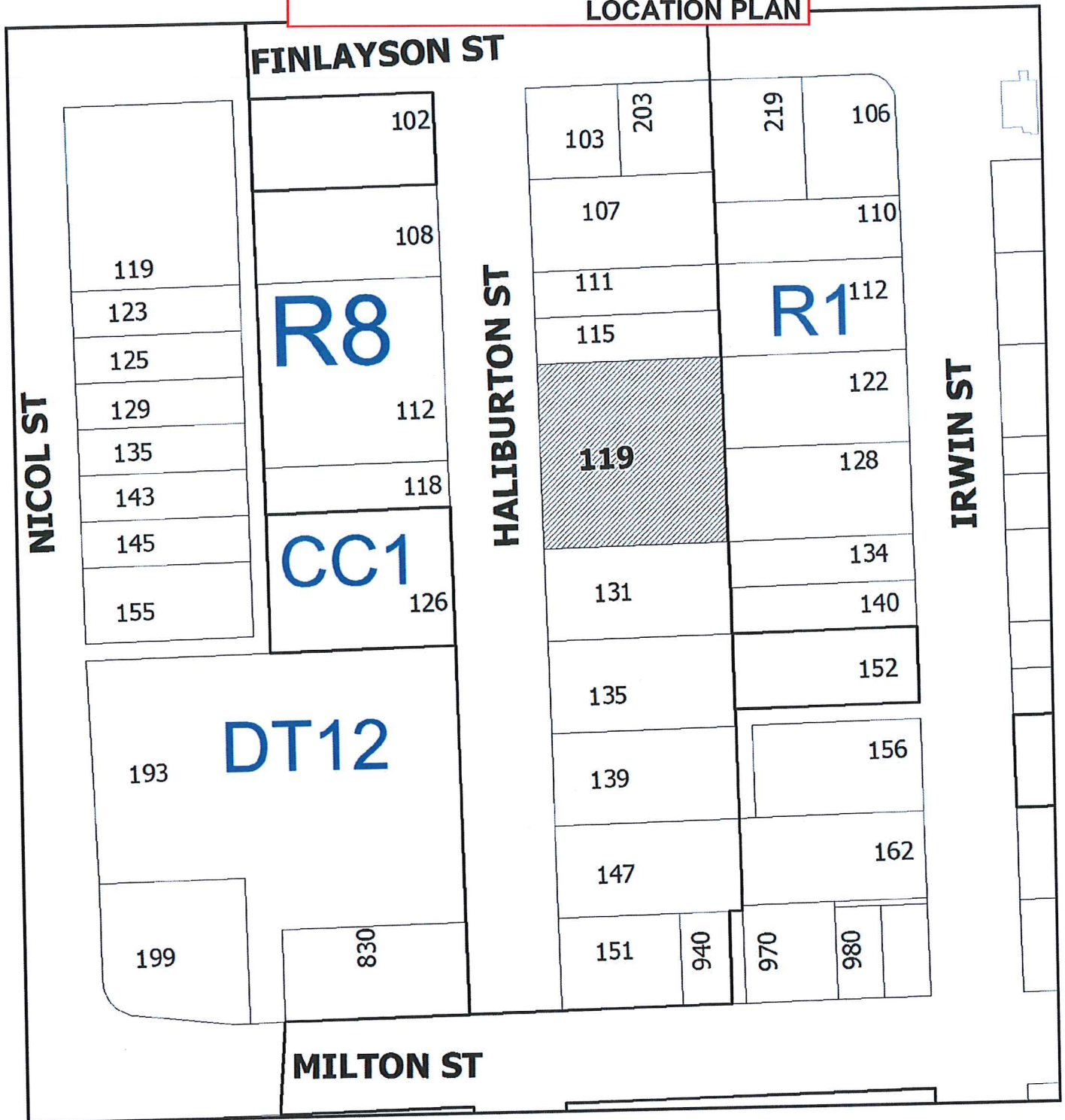
  
Corporate Officer

  
Date

LW/ln

Prospero attachment: DP001032

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001032



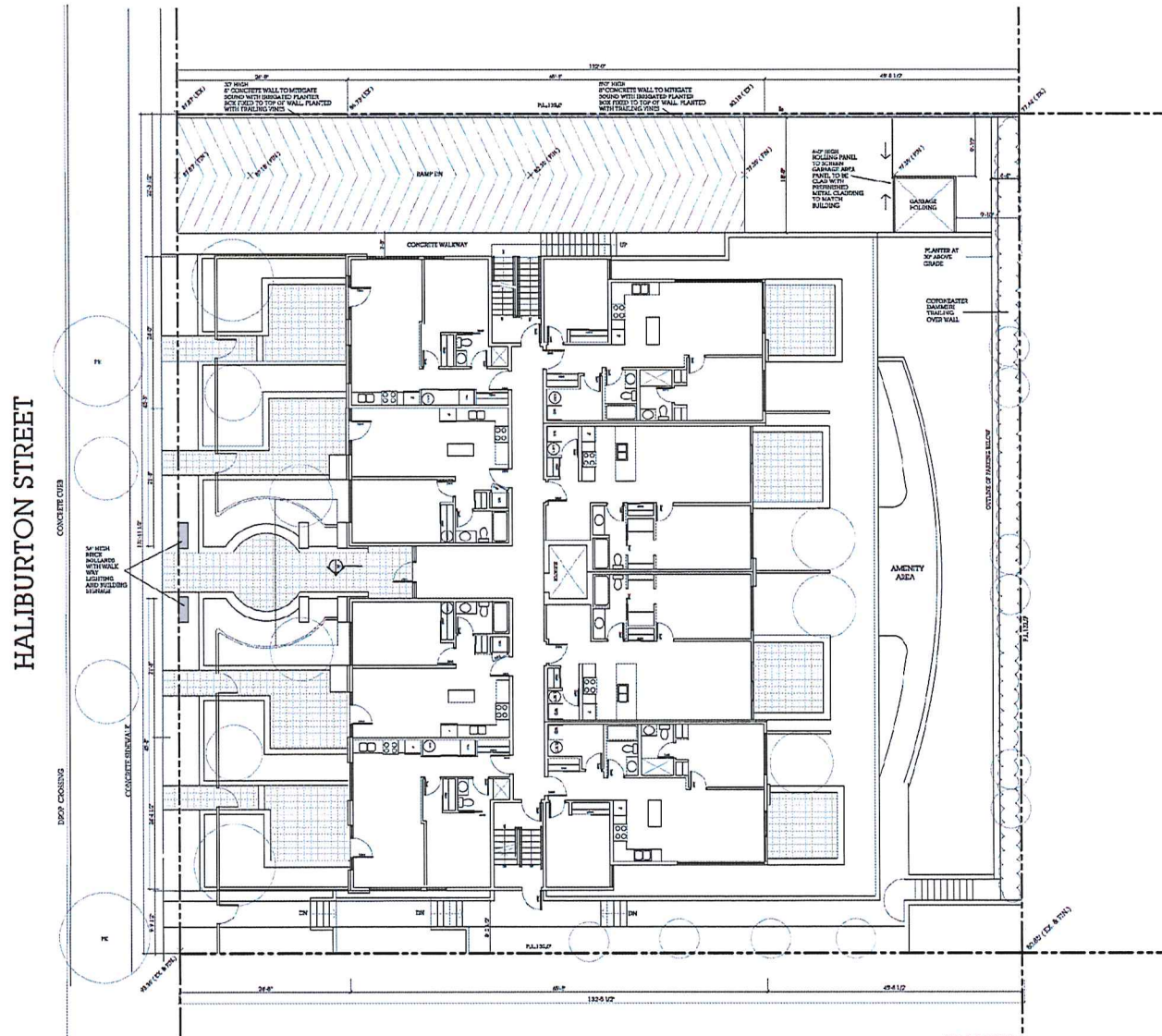
LOCATION PLAN

Civic: 119 Haliburton Street  
Lot A, Section 1, Nanaimo District,  
Plan VIP79946



Subject  
Property

Development Permit DP001032 Schedule B  
119 Haliburton Street  
**SITE PLAN**



<b>LEGAL DESCRIPTION:</b>	
PLAN 584, BLOCK 7, LOTS 6+7	
SEC 1 NLD PORTION N 1/2 LOT 6	
<b>CIVIC ADDRESS:</b>	
119 HALIBURTON STREET	
<b>ZONING:</b>	
R8	
<b>USE:</b>	
R8	
<b>SITE AREA:</b>	
132' x 132'	= 17424 S.F.
<b>SITE COVERAGE ALLOWED:</b>	
5999 S.F. / 17424 S.F.	= 40%
<b>SITE COVERAGE PROPOSED:</b>	
6194 S.F. / 17424 S.F.	= 35.5%
<b>ALLOWABLE F.S.R.:</b>	
1.79	
<b>ALLOWABLE FLOOR AREA:</b>	
17424 S.F. x 1.85	32234 S.F.
<b>PROPOSED FLOOR AREA:</b>	
FIRST FLOOR	6194.0 S.F.
SECOND FLOOR	6274.0 S.F.
THIRD FLOOR	6274.0 S.F.
FOURTH FLOOR	6274.0 S.F.
FIFTH FLOOR	6235.0 S.F.
TOTAL	31251.0 S.F.
<b>PROPOSED RECREATION AREA:</b>	
ROOF TOP PATIO - 4544 S.F.	
<b>PARKING SPACES REQUIRED:</b>	
35 SPACES	
<b>PARKING SPACES PROVIDED:</b>	
36 SPACES	
<b>AVERAGE NATURAL GRADE:</b>	
EL. 89.07'	
<b>ALLOWABLE HEIGHT:</b>	
14.0 M	
<b>PROPOSED HEIGHT:</b>	
16.0 M	

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119 HALIBURTON  
KC MOONEY  
ARCHITECT  
330 - 1026 DAVIE  
VANCOUVER BC  
V6E 1M3  
604 736 2927

DRAWN	DATE	DATE	DATE
1	2018-07-17	2018-07-17	2018-07-17
SCALE: 1/8" = 1'-0"			
A100			

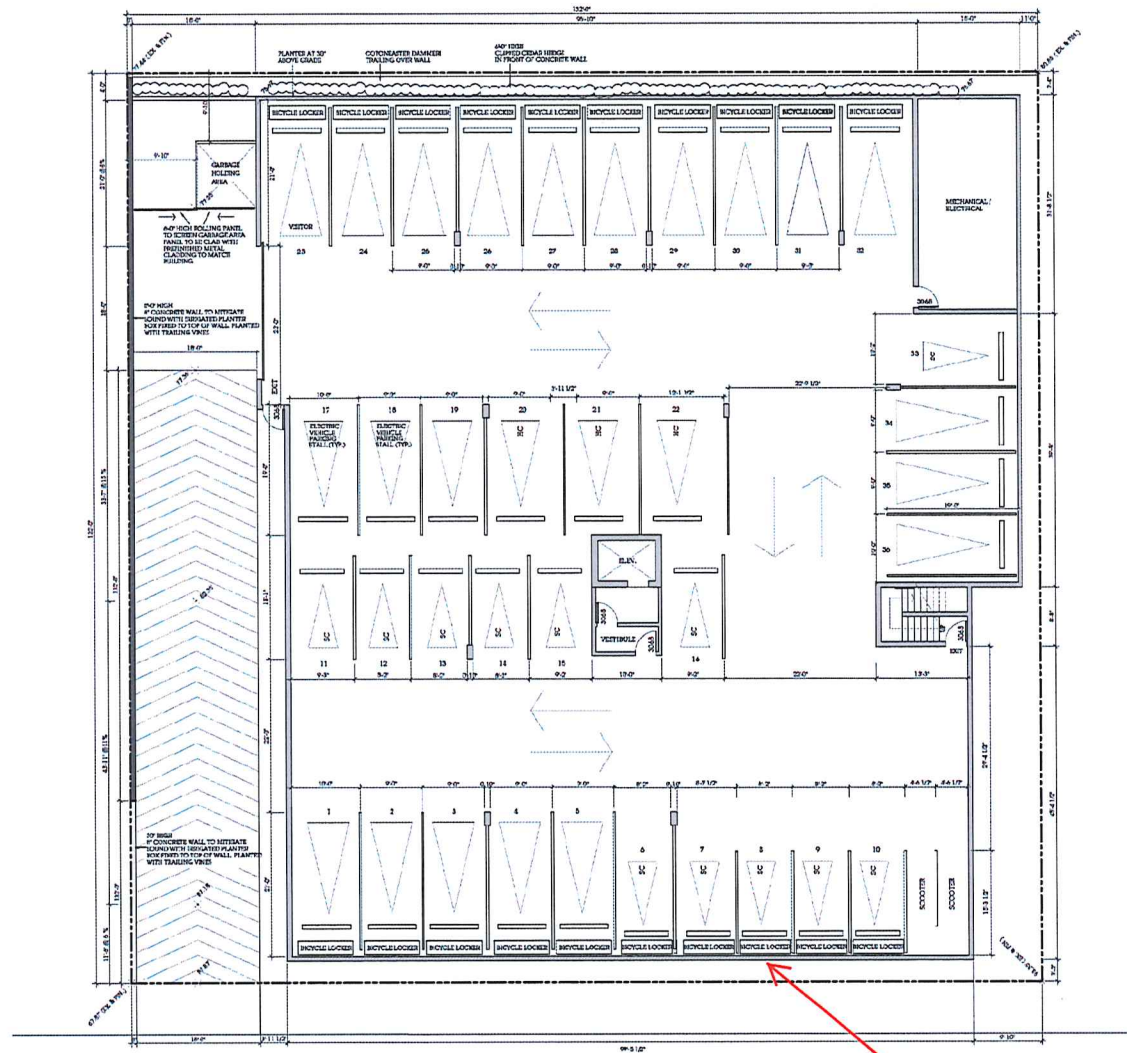
RECEIVED  
DP 1032  
2018-JUL-17  
City of Vancouver

SITE PLAN



## Schedule C

## PARKING PLAN



HALIBURTON ST.

### Proposed Variance to Reduce Front Yard Setback to Underground Parkade

## PARKING PLAN

A101

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119 HALIBURTON

KC MOONEY  
ARCHITECT  
80-1026 DAVIE  
VANCOUVER BC  
V6E 1M3  
604 736 2927

DRAWN							
DATE	JULY 17, 2018						
SCALE:	1/8" = 1'-0"						

## BUILDING ELEVATIONS



WEST ELEVATION

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DP1032  
2018-JUL-26

A200





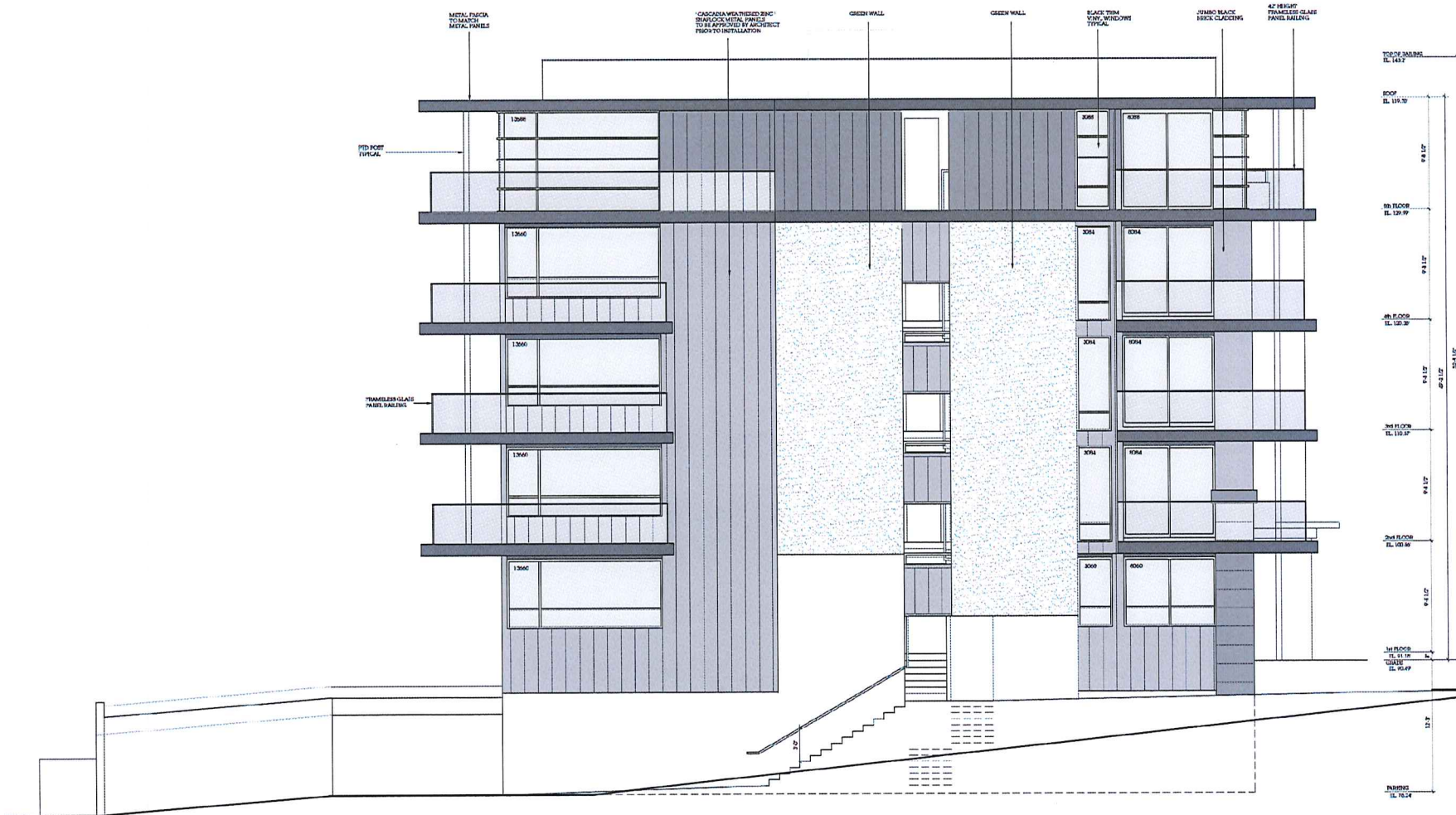
# EAST ELEVATION

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DP 1032  
2018-JUL-17  
From: [illegible]

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ARCHITECT  
330 - 1026 DAVIDE  
VANCOUVER BC  
V6E 1M3  
604 736 2927

DRAWN	DATE	JULY 16, 2018
SCALE	1" = 3'-0"	
A201		



NORTH ELEVATION

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DP1032  
2018-JUL-17

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ARCHITECT

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604 736 2927

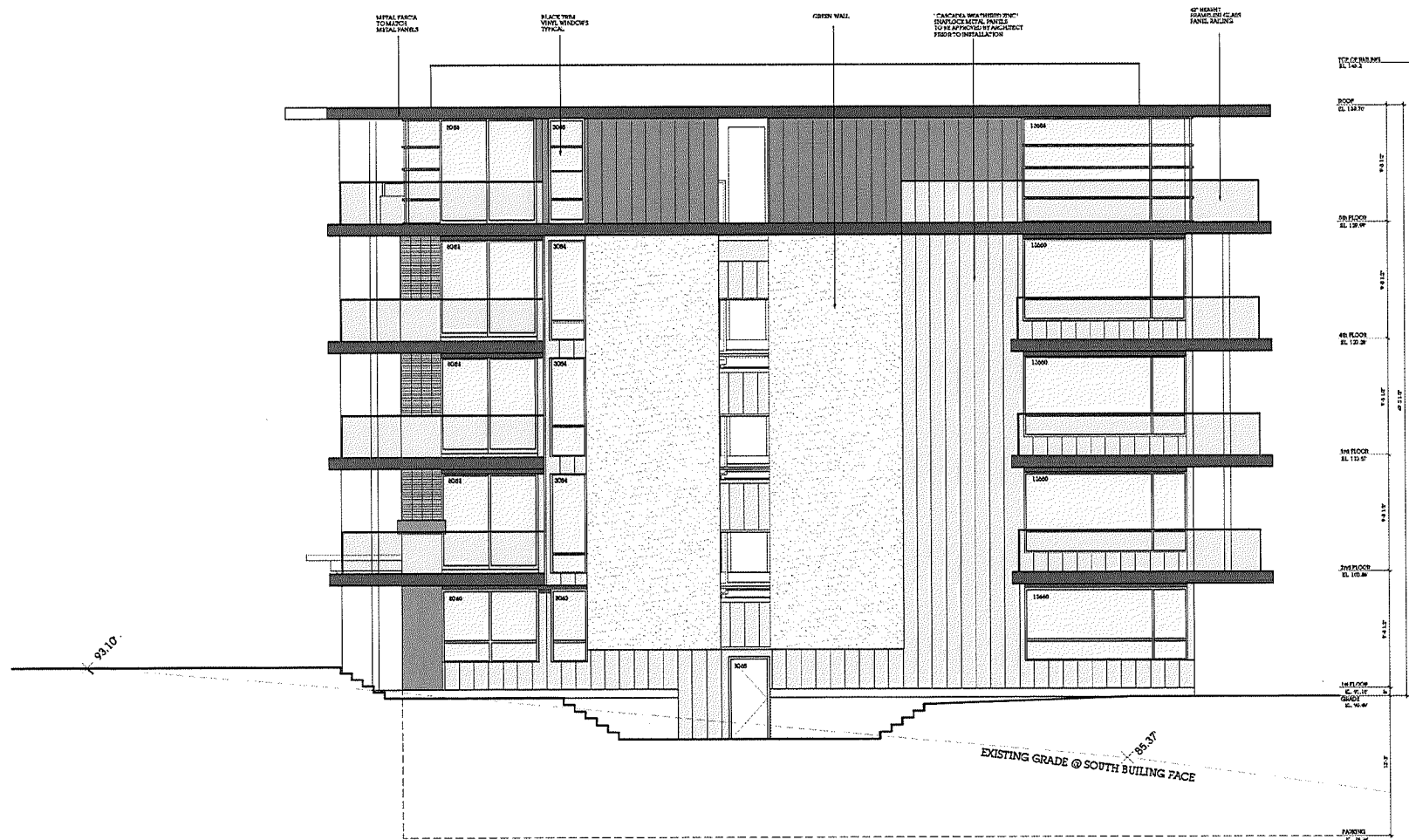
DRAWN

DATE JULY 14, 2018

SCALE: 1/4" = 1'-0"

A202





SOUTH ELEVATION

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DP1032  
2018-JUL-17

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KC MOONEY

ARCHITECT

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VANCOUVER BC

V6E 1M3

604 736 2927

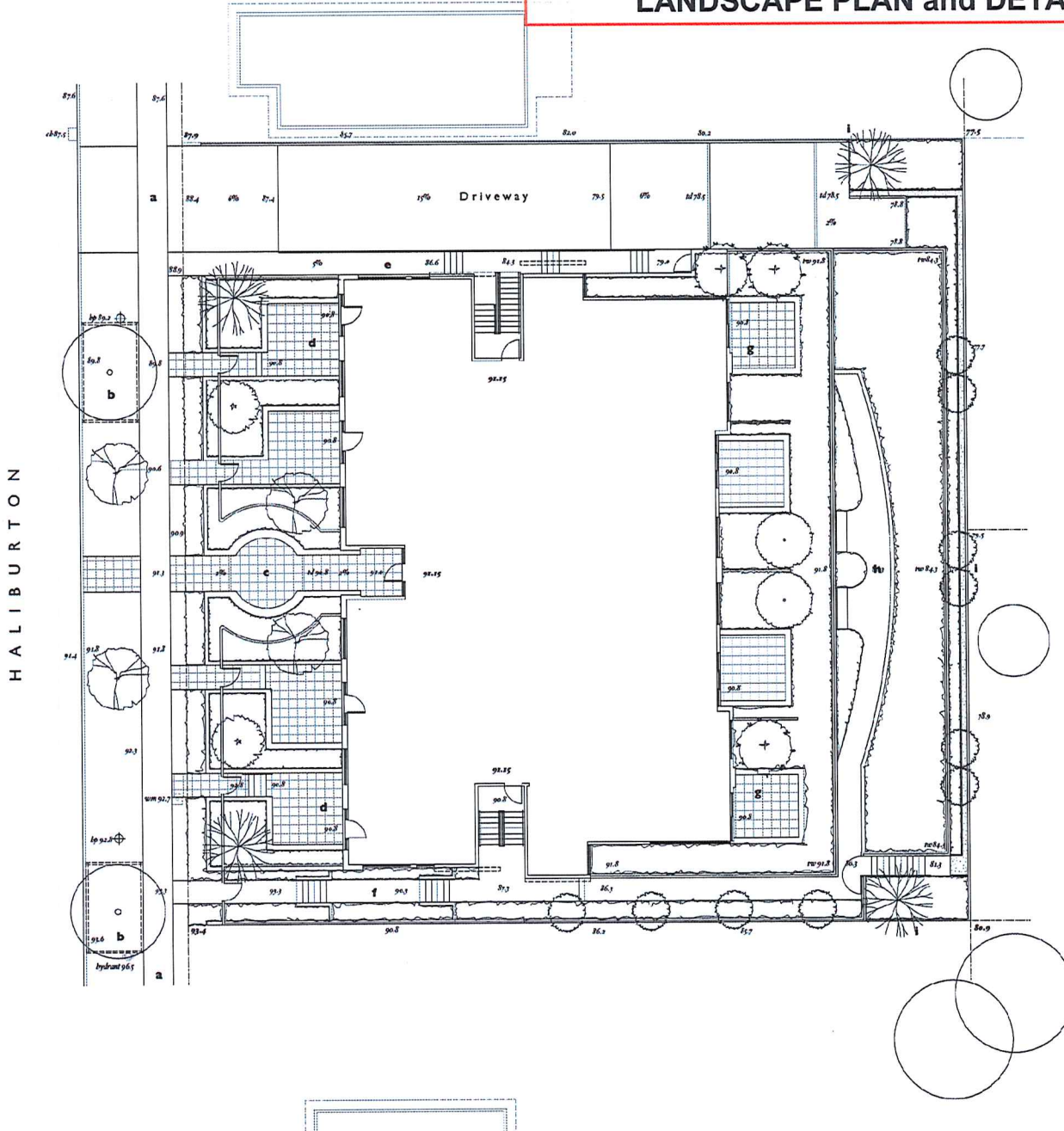
**DRAWN**

DATE	JULY 14, 2018
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SCALE: 1/4" = 1'-0"

A203

## LANDSCAPE PLAN and DETAILS



## Key

- a Sidewalk  
existing concrete sidewalk
- b Existing Plane Tree  
with perimeter fencing
- c Entrance Courtyard  
with curved benches
- d West Garden Patio  
permeable concrete pavers
- e North Stairway  
concrete steps
- f South Stairway  
concrete steps
- g East Garden Patio  
permeable concrete pavers
- h East View Garden  
with benches
- i Perimeter Fence  
wooden 6' ft



April 14, 2018 revision  
March 6, 2018

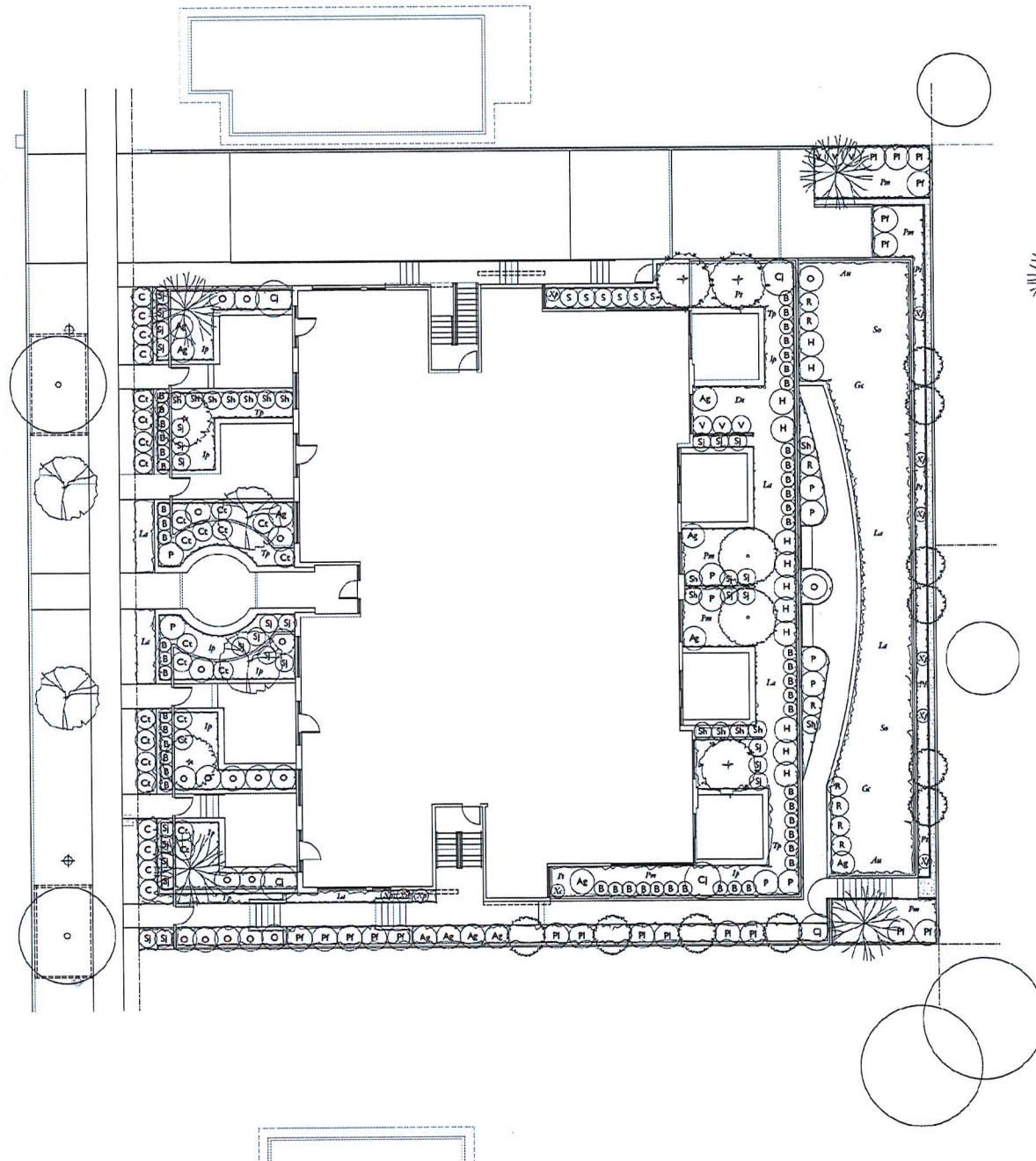
119 HALIBURTON  
Nanaimo, British Columbia

Level One  
Grading Plan  
Scale 1/8" = 1' 0"

TOPOGRAPHICS  
landscape architecture  
250 447 4720

LA I

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2018-MAY-15  
Current Planning & Subdivision



# PLANT LIST

Symbol	Qty	Botanical Name	Common Name	Size
<b>TREES</b>				
+	3	<i>Acer palmatum</i> Serraki	Japanese Maple	5" cal
+	4	<i>Acer rubrum</i> October Glory	Red Maple	5" cal
+	2	<i>Magnolia sulangiana</i>	Magnolia	5" cal
+	2	<i>Magnolia stellata</i>	Magnolia	5" cal
+	4	<i>Prunus yedoensis</i> Akitsuno	Flowering Cherry	5" cal
+	10	<i>Sorbus aucuparia</i> Fastigiata	Mountainash	2" cal
<b>SHRUBS</b>				
+	12	<i>Abelia grandiflora</i>	Abelia	#2
+	12	<i>Buxus microphylla</i>	Boxwood	#5
+	5	<i>Camellia japonica</i> Elegans Champagne	Camellia	#5
+	8	<i>Camellia theysseana</i> Victoria	California Lilac	#5
+	22	<i>Chelipa ternata</i>	Mexican Mockorange	#5
+	12	<i>Hydrangea macrophylla</i>	Hydrangea	#2
+	20	<i>Osmunda deltoidea</i>	Osmunda	#5
+	10	<i>Philadelphus deltoidea</i>	Mockorange	#2
+	10	<i>Photinia fraseri</i>	Photinia	#2
+	5	<i>Prunus laurocerasus</i>	Portugal Laurel	#2
+	6	<i>Ribes sanguineum</i>	Red Flowering Currant	#2
+	15	<i>Sarcococca hookeriana</i> Hamilis	Sweetbox	#2
+	6	<i>Skimmia japonica</i>	Skimmia	#2
+	20	<i>Spiraea japonica</i>	Spiraea	#2
+	6	<i>Viburnum tinus</i>	Viburnum	#2

## GROUNDCOVERS

+	60	<i>Arctostaphylos uva-ursi</i> Vancouver Jade	Kentucky Blue	4"
+	120	<i>Larocordia angustifolia</i>	English Lavender	#1
+	120	<i>Polyandra terminalis</i>	Japanese Spurge	4"
<b>PERENNIALS</b>				
+	60	<i>Geranium californicum</i> Elmora	Cambridge Cornhill	4"
+	120	<i>Trifolium</i>	Daylily	4"
+	120	<i>Sedum oreum</i>	Sedum	4"
+	120	<i>Thymus praecox</i> Lingonberry	Witch Thyme	4"

## FERNS

+	12	<i>Dracaena erythraea</i>	Autumn Fern	#2
+	60	<i>Polystichum munitum</i> Setiferum	Alaska Fern	#2

## VINES

+	1	<i>Clematis armandi</i>	Evergreen Clematis	#5
+	1	<i>Parthenocissus quinquefolia</i> Englemanni	Virginia Creeper	#5
+	1	<i>Rosa wichuriana</i>	Climbing Rose	#5

All Plants to meet BCSLA / BCNTA Standards  
 Deep irrigation to be provided for all planting areas



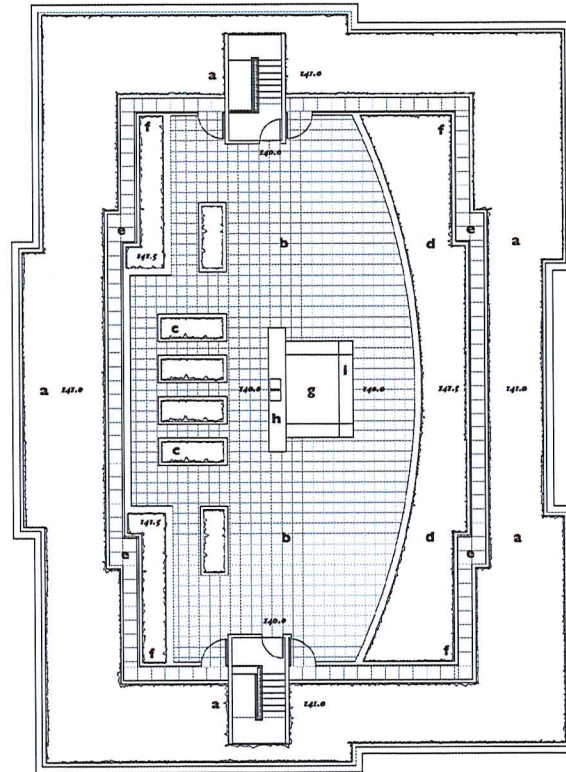
April 14, 2015 revision  
 March 4, 2015  
 119 HALIBURTON  
 Nanaimo, British Columbia

**Level One**  
**Planting Plan**  
 Scale 1/8"=1'-0"

TOPOGRAPHICS  
 landscape architecture  
 250 447 9740

**LA 2**

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**DP1032**  
 2018-MAY-15  
 Current Planning & Subdivision



# Key

- a Green Roof  
8" soil depth
- b Garden Terrace  
permeable concrete pavers
- c Community Garden  
18" soil depth
- d View Meadow  
18" soil depth
- e Gardener Walk  
permeable concrete pavers
- f Guardrail
- g Elevator
- h Counter
- i Bench



April 14, 2018 revision  
April 16, 2018 concept  
March 6, 2018 concept

119 HALIBURTON  
Nanaimo, British Columbia

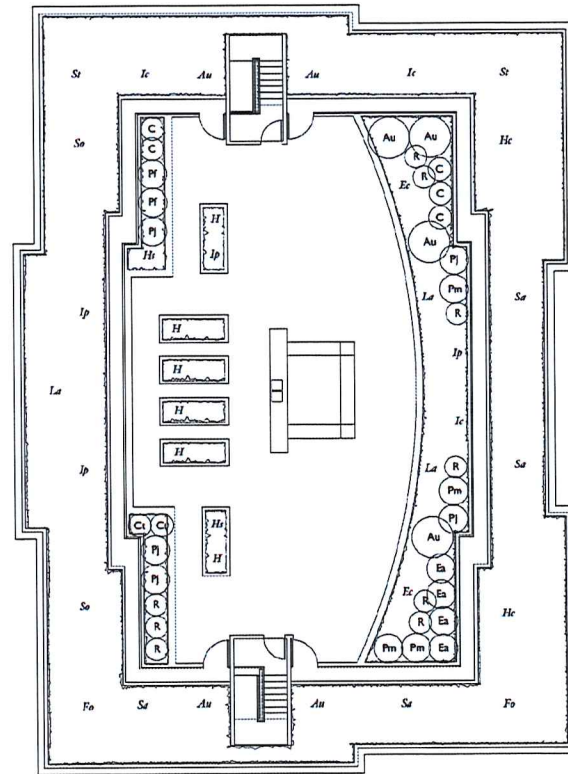
Roof Garden  
Grading Plan  
Scale 1/8" = 1'-0"

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DP1032  
2018-MAY-15  
Current Planning & Subdivision

TOPOGRAPHICS  
landscape architecture  
250-247-9720

LA 3





PLANT LIST				
Symbol	Qty	Botanical Name	Common Name	Size
<b>SHRUBS</b>				
Au	4	<i>Arbutus menziesii</i> Compacta	Strawberry Bush	#1
C	5	<i>Ceanothus Blue Mound</i>	California Lilac	#2
Ct	2	<i>Chelys ternata</i>	Mexican Mockorange	#2
Ea	4	<i>Euonymus alatus</i> Compacta	Burningbush	#2
Pj	3	<i>Pieris japonica</i> Fortune Flame	Pieris	#3
Pm	4	<i>Pinus mugo</i> Pumila	Mugo Pine	#5
Pl	2	<i>Potentilla fruticosa</i> Tangerine	Cinquefoil	#2
R	8	<i>Rosa mollis</i> La Serenita	Rose	#2
<b>GROUNDCOVERS</b>				
Au	240	<i>Antennaria dioica</i> var. <i>variegata</i> Jade	Knoxclimack	4"
Ez	60	<i>Eriogonum fasciculatum</i> White	Heather	4"
Hc	120	<i>Hypericum calycinum</i>	St. Johnswort	4"
La	240	<i>Lamium maculatum</i> Muralis	Lavender	#1
<b>PERENNIALS</b>				
Hs	20	<i>Hamamelis</i> Stella Pora	Daylily	4"
Ip	120	<i>Iris pumila</i>	Daylily	4"
Se	240	<i>Sedum alba</i>	Sedum	4"
So	120	<i>Sedum arifolium</i>	Sedum	4"
<b>GRASSES</b>				
Fo	120	<i>Festuca ovina</i>	Blue Fescue	4"
Ic	180	<i>Impatiens cylindrica</i> Red Baron	Japanese Mandarin	4"
St	120	<i>Stipa tenuifolia</i>	Feather Grass	4"
<b>HERBS</b>				
H	60	to be selected		and

All Plants to meet BCCLA / BCNTA Standards  
 Drain irrigation to be provided for all planting areas



April 14, 2015

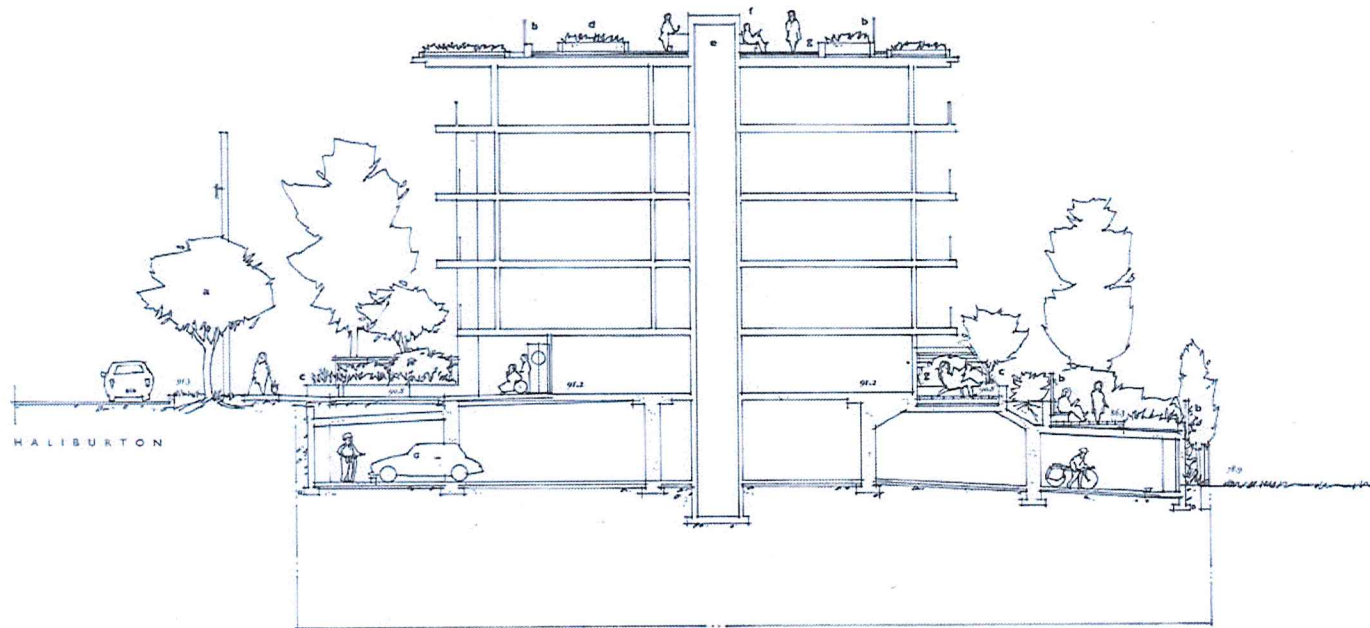
119 HALIBURTON  
 Nanaimo, British Columbia

Roof Garden  
 Planting Plan  
 Scale 1/8" = 1'-0"

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**DP1032**  
 2018-MAY-15  
 Current Planning & Subdivision

TOPOGRAPHICS  
 LANDSCAPE ARCHITECTURE  
 450-247-9710

LA 4



Key

- a Existing Tree
- b Guardrail
- c Planter Wall
- d Community Garden
- e Elevator
- f Bench
- g Permeable Pavers

April 14, 2018  
March 12, 2018

119 Haliburton  
Nanaimo, BC

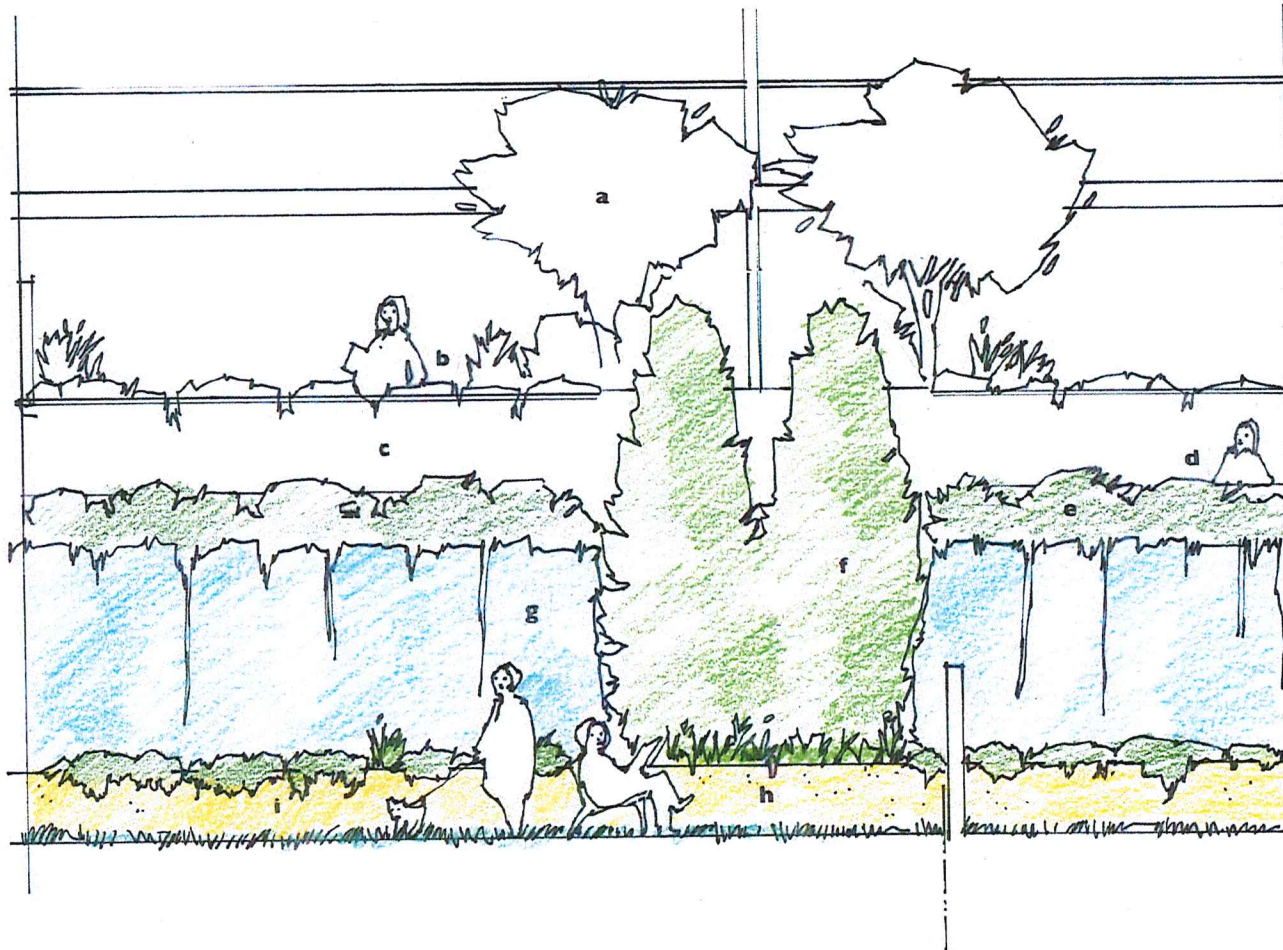
Levels 1+6  
West - East Section

1/8" = 1'-0"

TOPOGRAPHICS  
landscape architecture  
250.247.9720

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2018-MAY-15  
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LA 5



**Second Floor 100.9**

**First Floor 91.2**

**East Terrace 86.8**

**Planter Wall 30"**

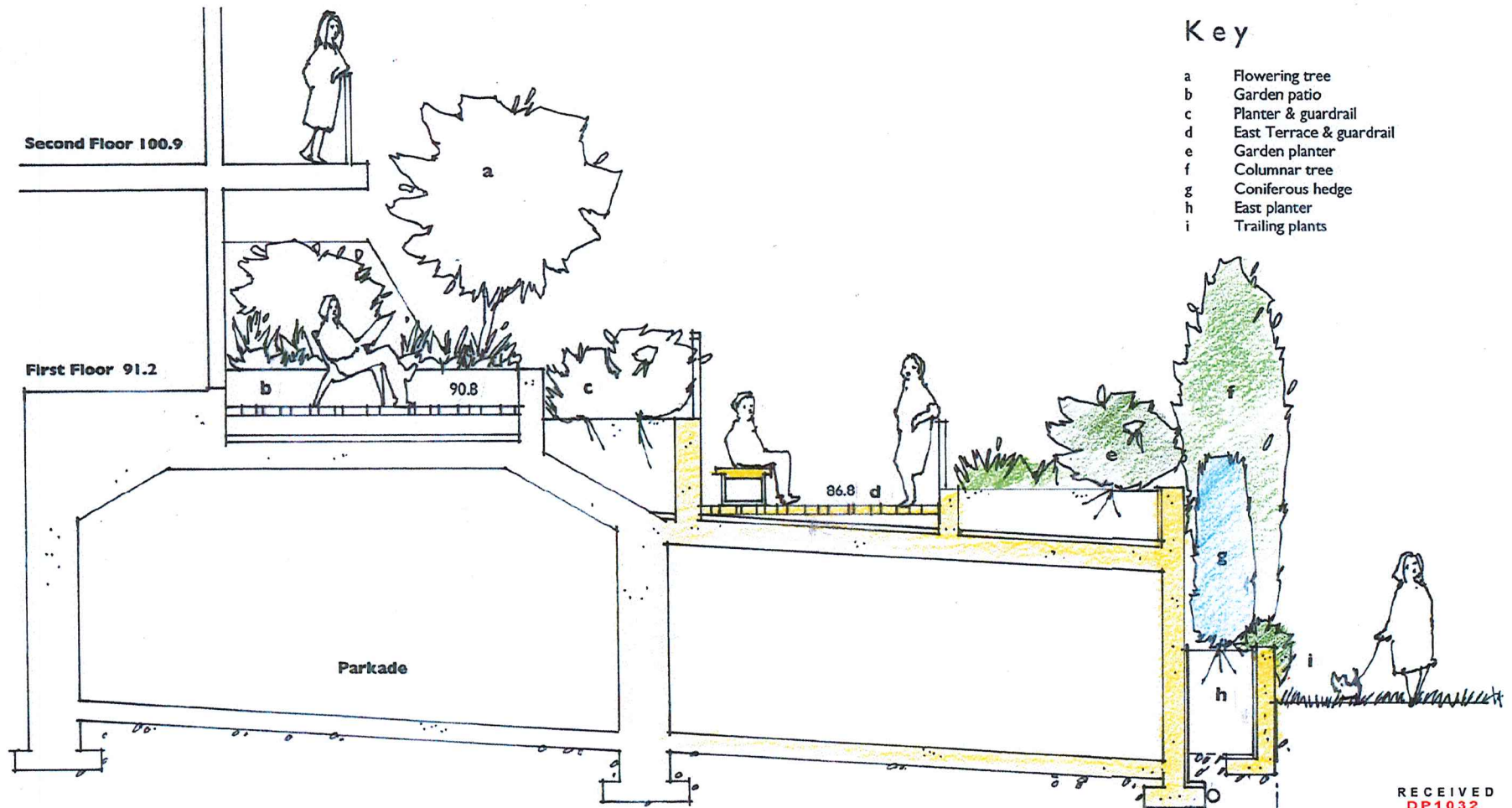
**Existing Grade 78.9 (varies)**

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DP 1032  
2018-JUN-14  
Design Planning & Architecture

June 12, 2018 revised  
June 10, 2018

**119 Haliburton Nanaïmo, BC**  
**Landscape / East Elevation**  
1/4" = 1'-0"

**TOPOGRAPHICS**  
landscape architecture  
2 5 0 2 4 7 9 7 2 0



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DP 1032  
2018-JUN-14  
Crest Planning & Fabrication

June 12, 2018 revised  
June 10, 2018

**119 Haliburton Nanaimo, BC**  
**Landscape / East Section**  
 1/4" = 1'-0"  
**TOPOGRAPHICS**  
 landscape architecture  
 250 247 9720



**SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY**

**OUTLOOK at HarbourView Tier 2 Rationale (119 Haliburton St)**

1 of 18

According to city of Nanaimo's most updated zoning Bylaw, the proposed development must achieve at total of 60 points or more (the total points of all 7 Tier 2 categories is 125 points) in order to obtain the additional density. This report will illustrate where and how much the proposed development on 119 Haliburton St could score in each category, and how much this development will score in total. Only the amenities that the proposed project can score at will be shown in this report with detailed description.

**Category 1:**

- B. The proposed Development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalk (3 points).
- Scored point(s): 3 points
  - Proof(s):
    - The Haliburton St has infrastructure that is more than sufficient enough for medium density development.
    - 250mm storm water drainage main
    - 150mm sanitary drainage main
    - All curbs and sidewalks are well constructed and maintained.
- C. The proposed development is located within 200m of a park or trail network (1 point).
- Scored point(s): 1 point
  - Proof(s):
    - 190m away from Deverill Square Gyro Two Park
    - Please see Appendix A for details
- D. The proposed development is located within 400m of any of the following (1 point each):
- a. Retail store
    - Scored point(s): 1 point
    - Proof(s):
      - 185m away from Seven-Eleven on 190 Nicol St
      - Please see Appendix A for details
  - c. Nanaimo Regional District transit bus stop
    - Scored point(s): 1 point
    - Proof(s):
      - 60m away from a bus stop (#7)
      - Please see Appendix A for details
  - d. Any PRC zoned property
    - Scored point(s): 1 point
    - Proof(s):
      - 170m away from 200 Irwin St
      - 200 Irwin St has a PRC2 zoning
      - Please see Appendix A for details

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2018-JUL-19  
Current Planning & Subdivision

- e. Any CS-1 zoned property
  - Scored point(s): 1 point
  - Proof(s):
    - 300m away from 260 Irwin St
    - 260 Irwin St has a zoning of CS1
    - Please see Appendix A for details

*The proposed project has a total score of 8 points for **Category One**.*

**Category 2:**

- C. The proposed development includes at least 50% retention of natural soil (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - During excavation phase of the proposed development, the natural soil that is excavated will be trucked and temporarily stored on 108 Haliburton St, a vacant site which is also owned by us. In the later stage of the project, those natural soil will be hauled back and used for back filling and landscaping top soil. Therefore, more than 50% of natural soil will be retained for the proposed development.
- E The proposed development includes street trees (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - The proposed development's landscaping plan has well incorporated with the current street trees, which are plum trees. Two additional flowering cherry trees with a caliper greater than 6cm will be planted between the two existing street plum trees.
    - Please see Appendix C for further details.
- E. After re-planting, the proposed development dose not result in a net loss of trees with a caliper greater than 6cm (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - There are three existing street trees on the West side of the development, and one of them will be removed according to the landscaping plan (the one on the far North side). However, two additional flowering cherry trees with a caliper greater than 6cm will be planted between the two preserved street trees. So the net number of street trees will be increased by one tree after the development.
    - Again there is zero trees on the proposed development site, so there will be no loss of trees within the property line.
    - Please Appendix C for further details.

- F. Post development, the total amount of trees on the property, or adjacent road right-of-way or public space is at least 20% more than the number of trees on the property before development (2 points).
- Scored point(s): 2 points
  - Proof(s):
    - The current number of trees on site is zero.
    - According the proposed development's landscape plan, four red maples will be planted at each corner of the development site. Two magnolias and four flowering cherry trees will be planted in the West side of the development site. Three Japanese maples and another two magnolias will also be planted on the East side of the site. More shrub-like plants will be used to complement the garden view all around the site.
    - Please see Appendix C for further details
- G. Restore a minimum of 50% of the site area (excluding the building footprint) by maintaining pervious surfaces (3 points).
- Scored point(s): 3 points
  - Proof(s):
    - The building footprint is 6,400 sq ft
    - The site area is 17,405 sq ft, so 50% of the site area (excluding the building footprint) is 5,500 sq ft
    - According to the landscape plan, the total area of pervious surface will be greater than 6,000 sq ft
    - Please see our landscaping plan in Appendix C.
- H. The development includes permeable educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site (1 point).
- Scored point(s): 1 point
  - Proof(s):
    - The original ideas of the proposed development on 119 Haliburton St is to build high quality and affordable homes that incorporate the heritage genes, as well as the beautiful nature around the neighbourhood. So that people could live, work and thrive at the Downtown South End. So our architect has come up a design that not only preserves but also increases as much nature components on the site as possible. There will be a signage on the South West corner of the site illustrating the species of newly planted trees and existing animal habitat around the neighbourhood.
    - Please see the educational signage locations in Appendix D.

*The proposed project has a total score of 9 points for **Category Two**.*

### **Category 3:**



- D. The parking area within the proposed development includes at least one electric vehicle charging station (1 point).
- Scored point(s): 1 point
  - Proof(s):
    - In our parkade layout, lot 25 and 26 are designated as electric vehicle charging stations.
    - Other property owners will have an option to upgrade their parking lots to private electric vehicle charging stations for their own uses.
    - Please see our parkade plan in Appendix E.
- E. A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building (4 points).
- Scored point(s): 4 points
  - Proof(s):
    - All of the parking lots are located underground of the building, including some other facilities such as bike storage room, electric vehicle charging stations and electric plug-in for electronic bicycles or electronic scooter.
    - Please see our parkade plan in Appendix E.
- F. The proposed development includes covered and designed parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces (2 points):
- a. Multiple family residential development: 1 motorized scooter or motorcycle space per 15 dwelling units; and
  - b. Non-residential uses: 1 motorized scooter or motorcycle space per 600 sq m of Gross Floor Area for the first 5000 sq m plus one space per 1500 sq m of additional Gross Floor Area; and
  - c. A minimum of 1 electronic plug-in is provided to accommodate at least 1 electronic scooter or electronic bicycle
- Scored point(s): 2 points
  - Proof(s):
    - There are 36 units in this proposed multi-family residential development. The parkade layout has shown that there will be 2 motorized scooter or motorcycle spaces in the underground parking lot.
    - One of the 2 motorized scooter spaces will be equipped with electronic plug-in for electronic scooters or electronic bicycles.
    - Please see our parkade plan in Appendix E.
- H. Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw (2 points):
- Scored point(s): 2 points
  - Proof(s):
    - According to the proposed development parking plan, there will be 36 vehicle parking spots in total and 2 scooter parking spots for scooters,



- which does not exceed the minimum parking requirements (one parking space for each unit, so 36 parking spaces in total).
  - Please see our parkade plan in Appendix E.
- I The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - There will be a signage at the entrance of the drive way (North West corner of the property) illustrating the possible sustainable transportation alternatives in this area and why the sustainable transportations are extremely beneficial to our environment.
    - Please see the educational signage locations in Appendix D.

*The proposed project has a total score of **10 points** for **Category Three**.*

#### **Category 4:**

- A. Wood is the primary building material (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - Everything above the grade line of the proposed project will be built using wood.
    - Only the underground parking will be constructed using concrete and steel.
- C At least 50% of all wood products used in construction are certified by Forest Stewardship Council (FSC) Canada (3 points).
  - Scored Point(s): 3 points
  - Proof(s):
    - The proposed development will only utilize the mill-direct wood products that comply all the FSC requirements, which are list as follow:
      - The products are finished and are to be sold only to final costumers;
      - The products are each labelled with the appropriate FSC label;
      - The products have been sourced directly from, and invoiced, by an FSC-certified company;
      - The products are covered by the scope of that company's Chain of Custody certificate;
      - The products are not to be transformed/altered, repacked or relabelled in any way .
- E. The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled (2 points).
  - Scored point(s): 2 points

- Proof(s):
  - A trash bin will be rented for construction wastes storage only. All the construction wastes will go in to the bin, except the wastes that require separate treatment, such as drywalls, fiberglass insulation and so on. The bin rental company will come and empty the bin every week. They will sort out the construction waste on their site for proper disposal.
  - We will also submit a construction and waste management report that meets the requirements from the city.
- H. The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - There will be a signage on the South West corner of the site, illustrating the main differences between a wood frame building and a concrete building on sustainability aspect.
    - Please see the educational signage locations in Appendix D.

*The proposed project has a total score of 7 points for **Category Four**.*

#### **Category 5:**

- A. The project developer has provided all the following (5 points):
  - a. Letter from an mechanical engineer or equivalent consultant stating that the project exceeds the ASHRAE 90.1 2010 Energy Standard by 5% or more; and
  - b. Letter of credit for 1% of construction costs, prior to the issuance of a building permit, to be returned upon successful provision of all the above to the satisfaction of the manager of Building Inspections or designated.
    - Scored point(s): 5 points
    - Proof(s):
      - We will engage a mechanical engineer after the issuance of a development permit to design the building to exceed the ASHRAE 90.1 2010 Energy Standard by at least 5% from multiple fields such as HVAC system, service water heating system and so on.
      - We will provide a letter of credit of 1% of construction cost of the proposed development.
- B. The development includes permanent signage or display(s) regarding sustainable energy management practices used on site (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - We will include a signage on site which introduces the ASHRAE 90.1 2010 Energy Standard and also illustrate what practices the proposed development has adopted to exceed the ASHRAE 90.1 2010 Energy Standard.

- Please see the educational signage locations in Appendix D.

*The proposed project has a total score of 6 points for **Category Five**.*

**Category 6:**

- A. At least 50% of the property is covered with a permeable area which may include a green roof (2 points).
  - Scored point(s): 2 points
  - Proof(s):
    - The site area is 17,405 sq ft, so 50% of the site area (excluding the building footprint) is 8,700 sq ft
    - The area which is above the underground parking on the East side of the building will be fully covered by green roof.
    - Permeable paving stones will be used in all the yards on the West side of the building.
    - According to the rooftop plan, more than 60% of the roof will be covered by green roof garden which could be add into account for permeable area.
    - Therefore, the total permeable area of the property has far exceeded 50% of the property.
    - Please see the landscaping plan in Appendix C.
- B. The proposed building on the property include plumbing features which will use 35% less water than the BC Building Code standard (2 points).
  - Scored point(s): 2 points
  - Proof(s):
    - The proposed development will only utilize the plumbing fixtures such as faucets, shower heads and toilets that use 35% less water than normal fixtures on site.
- C. A green roof is installed to a minimum 30% of the roof area (3 points).
  - Scored point(s): 3 points
  - Proof(s):
    - According to our landscaping plan, around 60% of the roof area is designed as green roof to create more permeable surface for the proposed development.
    - Please see the landscaping plan in Appendix C.
- D. A living wall is installed to cover at least 10% of the total available wall area for proposed project (2 points).
  - Scored point(s): 2 points
  - Proof(s):
    - The proposed development has incorporated green walls on both North and South sides of the building. The covered area is greater than 10% of the total available wall area.
- E. A non-potable irrigation system is installed and used for all on site irrigation (3 points).



- Scored point(s): 3 points
- Proof(s):
  - The proposed development has incorporated an underground timing drip system for irrigation.
  - An irrigation system plan will be provided at building permit application phase.
- F. A water efficient irrigation system (such as drip) is installed (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - As mentioned above, the proposed development has incorporated an underground timing drip system.
- G. The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property (2 points).
  - Scored point(s): 2 points
  - Proof(s):
    - A rain garden is designed on the East side of the proposed development for the purposed of esthetic amusement and storm water retention.
- H. The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site (1 point).
  - Scored point(s): 1 point
  - Proof(s):
    - There will be a signage on the East side of the development site (near the rain garden) illustrating the using of sustainable water management practices such as the drip irrigation system and storm water retention rain garden.
    - Please see the educational signage locations in Appendix D.

*The proposed project has a total score of 16 points for **Category Six**.*

#### **Category 7:**

- B. At least 10% of the residential dwelling units meet all the accessibility requirements within the British Columbia Building Code 2012 (BCBC) or any subsequent Act or Acts which may be enacted in substitution therefore (3 points).
  - Scored point(s): 3 points
  - Proof(s):
    - The proposed development has 36 units. Thus there will be at least 4 units will meet all the accessibility requirements within the British Columbia Building Code 2012 (BCBC).
    - These 4 units will be the units locate on the first floor facing West.
- I. The development site includes permanent heritage interpretive signage or heritage building element where relevant (1 point).
  - Scored point(s): 1 point
  - Proof(s):



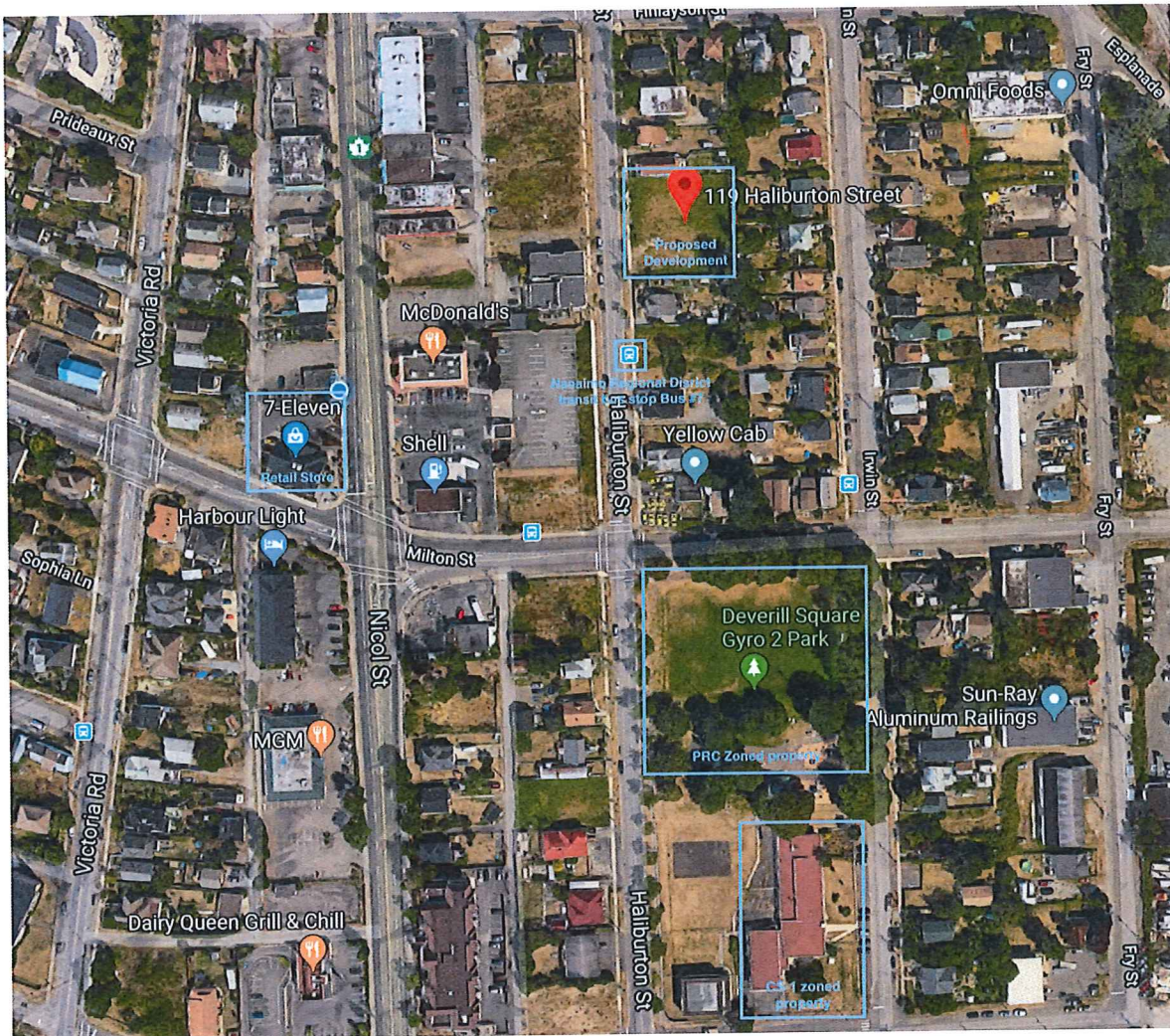
- There will be a sign illustrating the history of Haliburton street including the heritage events such as horse racing.
- Please see the educational signage locations in Appendix D.

*The proposed project has a total score of 4 points for **Category Seven**.*

In conclusion, the total score that the proposed development on 119 Haliburton St will achieve is **60** points, which has exceeded the Tier 2 amenity requirements for additional density (60 points).

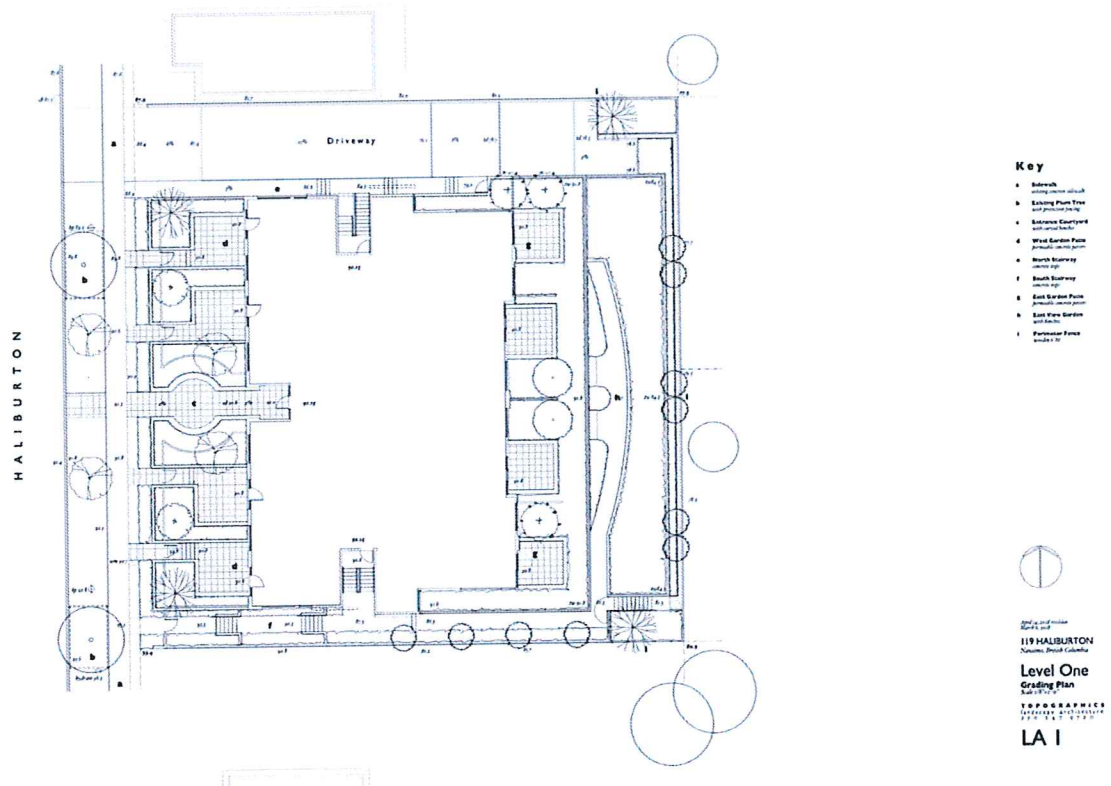
## APPENDIX A

Appendix A includes the regional map around the proposed development site. This map has marked out the locations of retail store (7-11), Nanaimo Regional District Transit bus stop (bus #7), a PRC Zoned property (Deverill Square Gyro 2 Park) and a CS-1 Zoned property (260 Irwin St). All of these marked out locations in this map are within 400m from the proposed development.

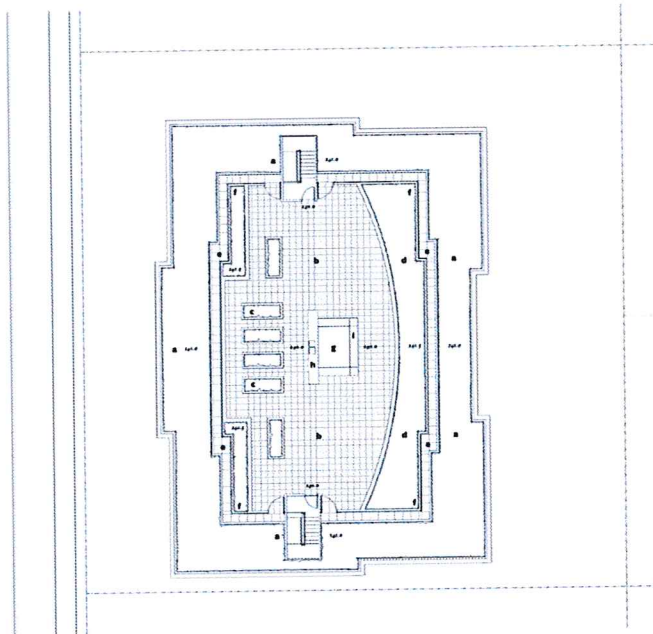


## APPENDIX C

Appendix C covers the landscaping plan for the proposed development. It also includes a satellite shot of its existing condition.







**Key**

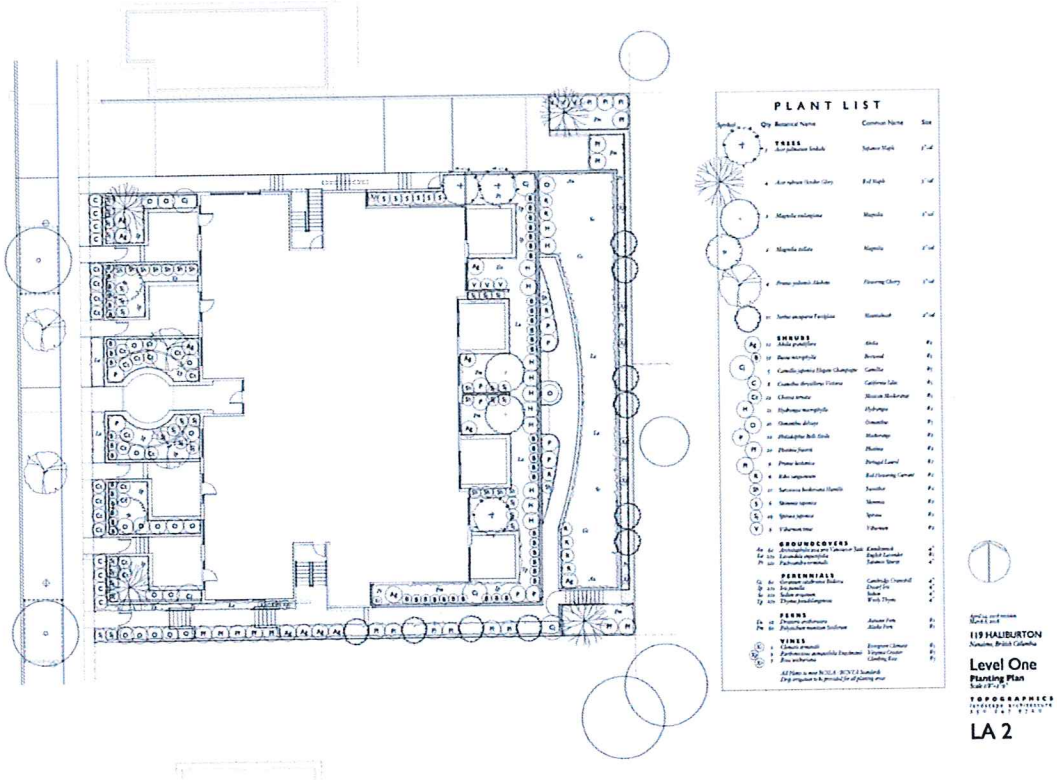
- a Green Roof  
*permeable, porous, green*
- b Garden Terrace  
*permeable, porous, green*
- c Community Garden  
*permeable, porous, green*
- d View Meadow  
*permeable, porous, green*
- e Garden Walk  
*permeable, porous, green*
- f Courtyard
- g Elevator
- h Courtyard
- i Bench

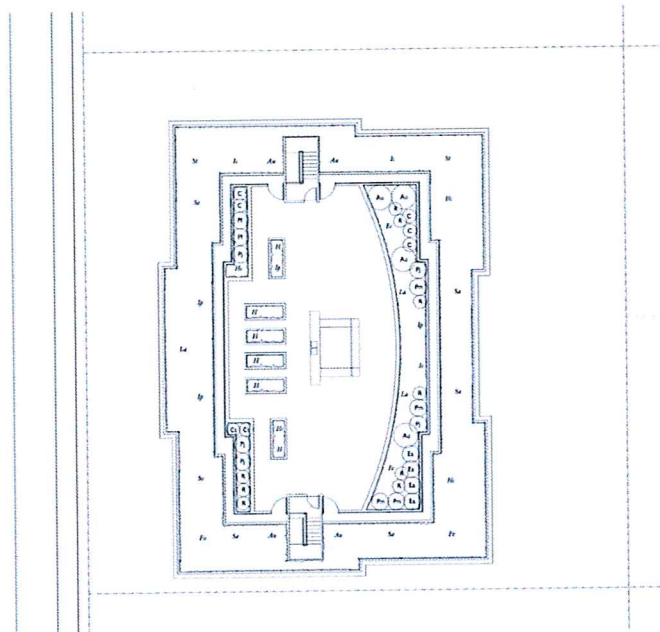


119 HALBURTON  
NORTH BRISTOL, ENGLAND

**Roof Garden**  
Grading Plan  
Sub 3/1/1/1

**LA 3**



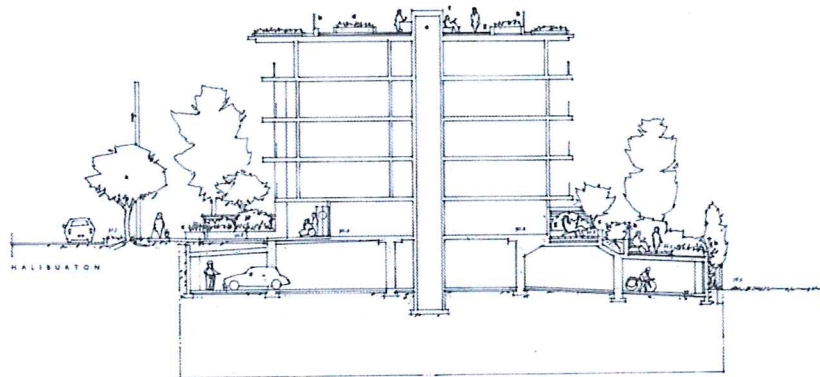


Symbol	Qty	Botanical Name	Common Name	Size
<b>PLANT LIST</b>				
(A)	1	<b>SHRUBS</b>		
(B)	1	<i>Abies balsamea</i>	Norfolk Island	1.5m
(C)	1	<i>Camellia sasanqua</i>	Camellia	1.5m
(D)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(E)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(F)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(G)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(H)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(I)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(J)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(K)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(L)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(M)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(N)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(O)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(P)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(Q)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(R)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(S)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(T)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(U)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(V)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(W)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(X)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(Y)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(Z)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
<b>PERENNIALS</b>				
(A)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(B)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(C)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(D)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(E)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(F)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(G)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(H)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(I)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(J)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(K)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
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(W)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(X)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(Y)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(Z)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
<b>HERBS</b>				
(A)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(B)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(C)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(D)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(E)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(F)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(G)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
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(W)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(X)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(Y)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m
(Z)	1	<i>Chamaecyparis</i>	Japanese Cedar	1.5m



119 HALSBURTON  
Roof Garden  
Planting Plan  
Scale 1:100  
LA 4

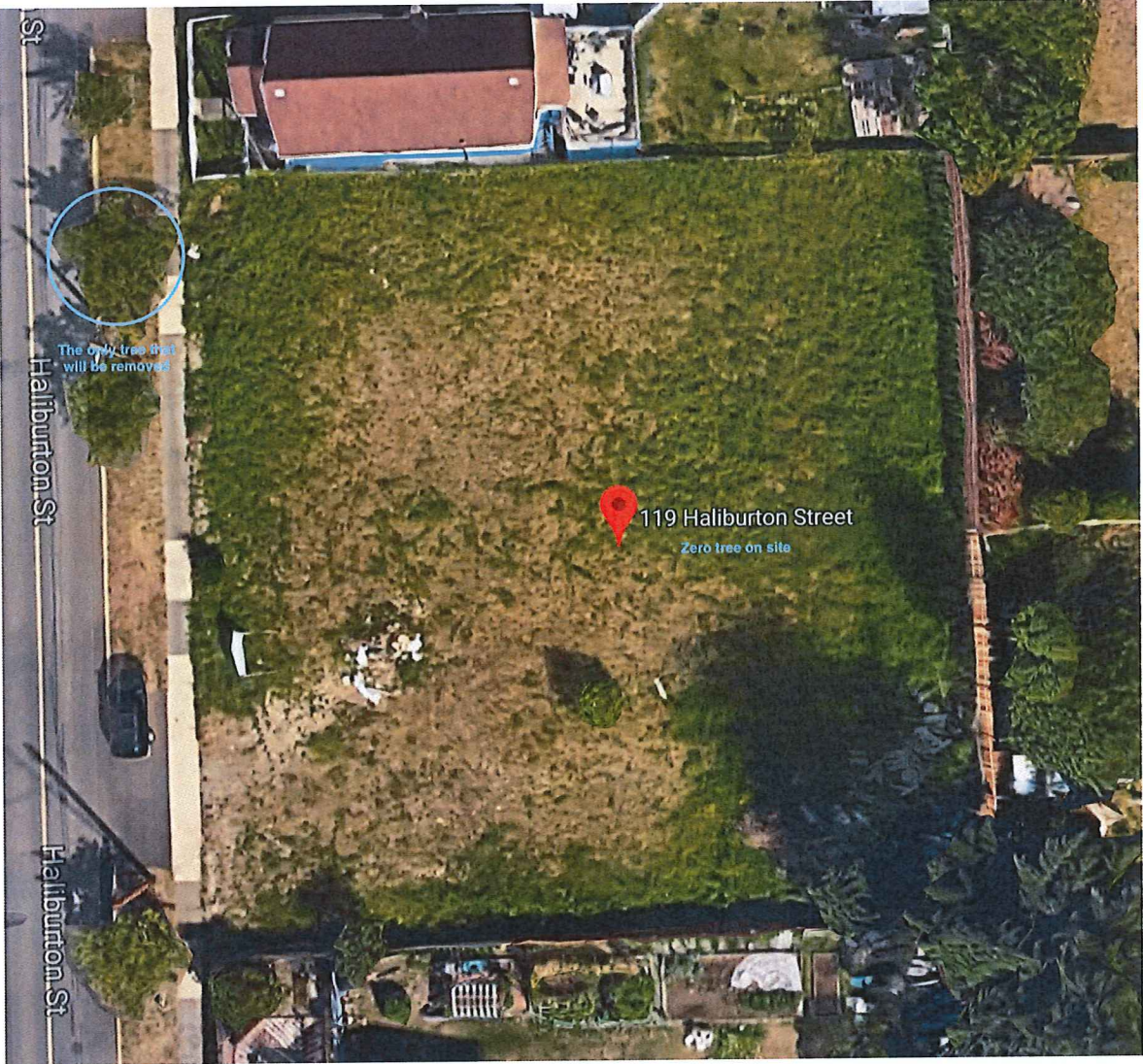




- Key**
- 1 Existing Tree
  - 2 Garden
  - 3 Porch Wall
  - 4 Community Garden
  - 5 Entrance
  - 6 Bench
  - 7 Permeable Paving

April 2012  
March 2012  
1119 Haliburton  
N. 1000000, 2012  
Levels 1+6  
West - East Section  
1/8" = 1'-0"  
**TOPOGRAPHICS**  
LANDSCAPE ARCHITECTURE  
1000 10th Ave. N.E.  
Calgary, Alberta T2C 1P5

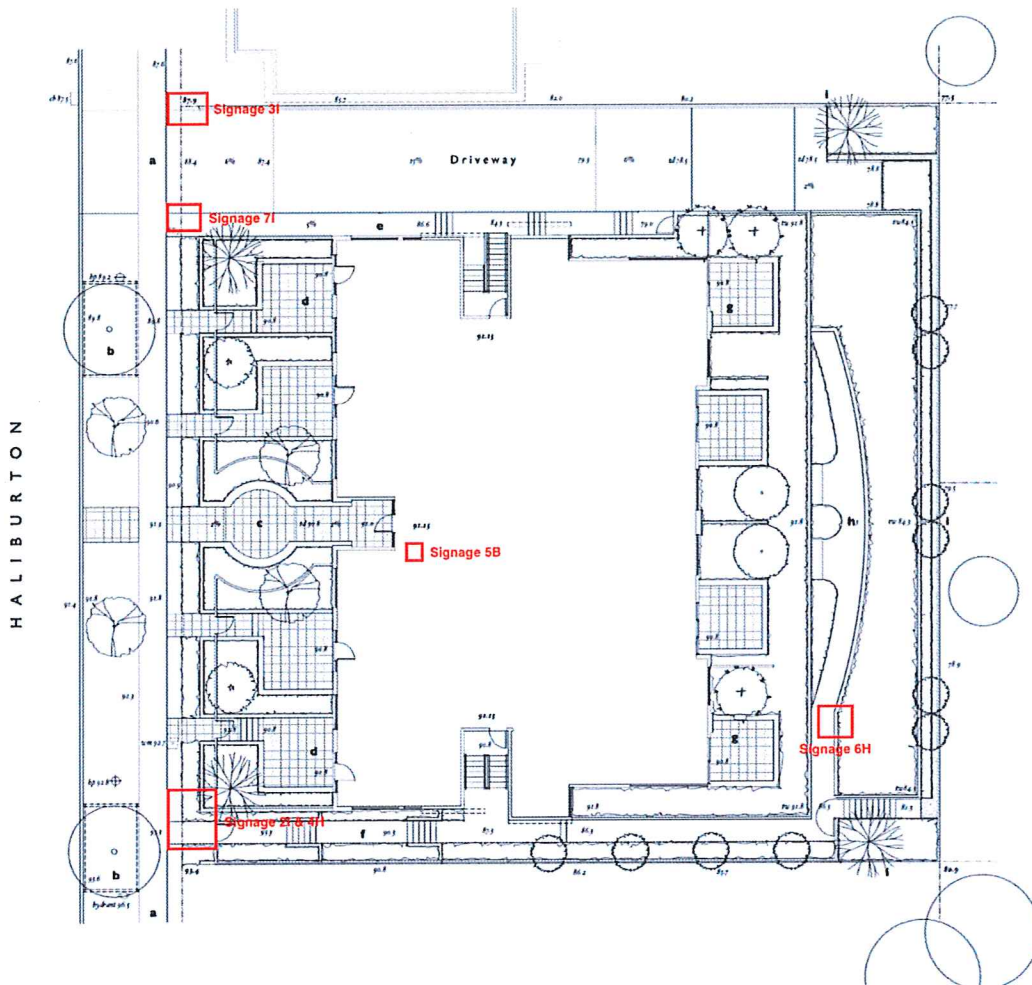
LA 5



## APPENDIX D

Appendix D covers the locations for all the educational signage that are proposed to be put on site.

- Signage 2I: The development includes permeable educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site
- Signage 3I: The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area
- Signage 4H: The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project
- Signage 5B: The development includes permanent signage or display(s) regarding sustainable energy management practices used on site
- Signage 6H: The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site
- Signage 7I: The development site includes permanent heritage interpretive signage or heritage building element where relevant





## APPENDIX E

Appendix E covers the parkade plan. It illustrates the locations of 2 electronic vehicle charging stations, 2 scooter parking spots (one of them is also equipped with electronic plug-in charging station).

